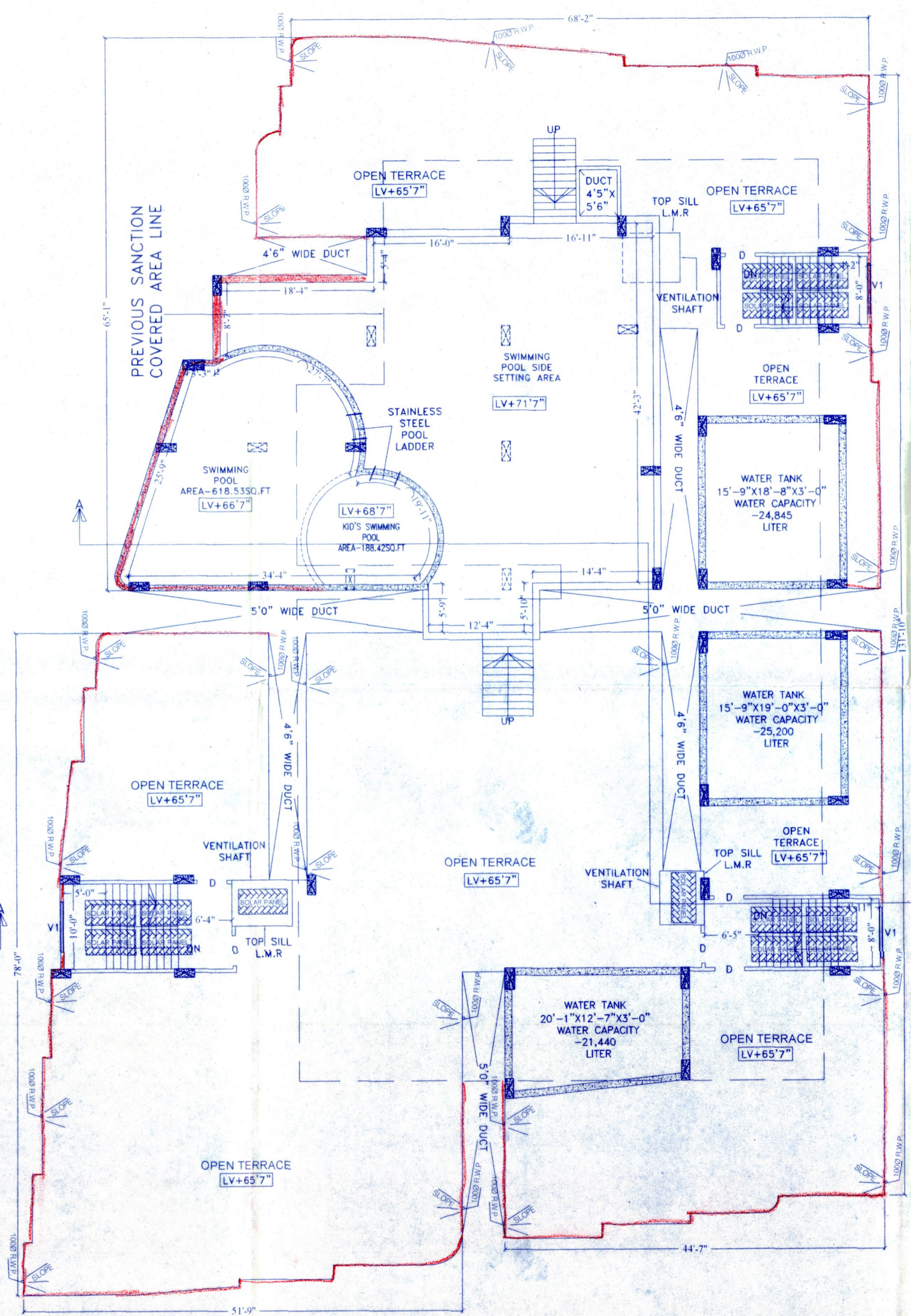


REVISED FIFTH & SIXTH FLOOR PLAN  
SCALE-1:96



REVISED ROOF PLAN  
SCALE-1:96

**SPECIFICATIONS:**

- 1) SINGLE LAYER BFS WITH PICKED JHAMA BRICKS.
- 2) 10" THICK FIRST CLASS BRICKWORK WITH CEMENT MORTAR (1:6) AT OUTSIDE WALLS.
- 3) 5" THICK FIRST CLASS BRICKWORK WITH CEMENT MORTAR (1:4) WITH APPROVED HB NETTING IN EVERY ALTERNATE LAYER AT INSIDE WALLS.
- 4) 1" THICK DPC WITH CEM. CONC. (1:2:4) WITH 6 MM DOWN STONE CHIPS AND 5% WATER PROOFING COMPOUND.
- 5) WOODWORK/PLY IN DOOR FRAMES WITH WOOD/PLY. 38 MM THICK DOOR SHUTTERS WITH WOOD.
- 6) ALSO FLUSH DOORS WITH COMMERCIAL PLY.
- 7) WINDOWS ARE ALUMINUM FULLY GLAZED AND PANELED FITTED WITH M.S. GRILL. 19 MM THK. CEM. PLASTER (1:6) TO INSIDE AND OUTSIDE WALLS.
- 8) 6 MM THK. CEM. PLASTER (1:3) TO CEILING, BEAMS, CHAJJA ETC.
- 9) TILES FLOORING AS PER SPECIFIC PAINTING AND COAT OF PRIMING AS PER APPROVED STANDARD PAINT.
- 10) RAIN WATER PIPES SHALL BE OF PVC, FINISHED WITH ALL SANITARY, WATER SUPPLY & ELECTRICAL FITTINGS SHALL BE OF FIRST CLASS MATERIAL.

**PROJECT NAME:-**

REVISED ARCHITECTURAL PLAN OF GROUND, FIRST, SECOND, THIRD, FOURTH, FIFTH & SIXTH FLOOR COMMERCIAL CUM RESIDENTIAL BUILDING (FLAT) AT M.G. ROAD, WARD NO - 24, HOLDING NO - 866, UNDER KRISHNANAGAR MUNICIPALITY, P.S. -KOTWALI, KRISHNANAGAR, DIST -NADIA.

**PROJECT ADDRESS**

J.L. NO-92, MOUZA - KRISHNANAGAR, PLOT NO-R.S-24, 24/290, 26/290, L.R.-201, 202, TOUZI NO - 3858-3861, 917-920, KHATAN NO -R.S- 59, L.R.-39519, 39520, [AS PER DEED ], KHATAN NO-59195,59194,59193,59192,59187,59188,59225, 59226,59227,59228 [AS PER PORCHA]

LAND OF AREA- (40.99 SATAK AS PER PORCHA), (41.0 SATAK AS PER DEED), (35.71 SATAK AS PER MEASUREMENT)	NOTE:1) ALL RISER = 5" AND ALL TREAD = 10" 2) PLOT LINE - THICK BLACK - 3) EXISTING STREET - GREEN WASH - 4) PROPOSED WORK - RED FILLED IN -
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**NOTES -**

1. REVISED GROUND FLOOR EXTENSION COVERED AREA - 6151.04 SQ.FT
  2. REVISED FIRST FLOOR EXTENSION COVERED AREA - 6151.04 SQ.FT
  3. REVISED SECOND FLOOR EXTENSION COVERED AREA - 5178.25 SQ.FT
  4. REVISED THIRD FLOOR EXTENSION COVERED AREA - 5178.25 SQ.FT
  5. REVISED FOURTH FLOOR EXTENSION COVERED AREA - 5178.25 SQ.FT
  6. REVISED FIFTH FLOOR EXTENSION COVERED AREA - 5178.25 SQ.FT
  7. REVISED SIXTH FLOOR EXTENSION COVERED AREA - 5178.25 SQ.FT
- PREVIOUS SANCTION PLAN DATE - 21/06/2023

AREA STATEMENT	PREVIOUS SANCTION COVER AREA(SQ.FT)	REVISED EXTENSION COVER AREA(SQ.FT)	PREVIOUS SANCTION+REVISED EXTENSION COVER AREA(SQ.FT)	PARKING (SQ.FT)
GROUND FLOOR	6285.24	6151.04	12436.28	4673.40
FIRST FLOOR	6285.24	6151.04	12436.28	GROUND FLOOR PLINTH AREA=11630.78 SQ.FT.
SECOND FLOOR	6285.24	5178.25	11463.49	
THIRD FLOOR	6285.24	5178.25	11463.49	
FOURTH FLOOR	6285.24	5178.25	11463.49	
FIFTH FLOOR	6285.24	5178.25	11463.49	PARKING = 4673.40 SQ.FT = 40.18 % OF GR.FL. PLINTH AREA.
SIXTH FLOOR	6285.24	5178.25	11463.49	
TOTAL AREA	43996.68	38193.33	82190.01	

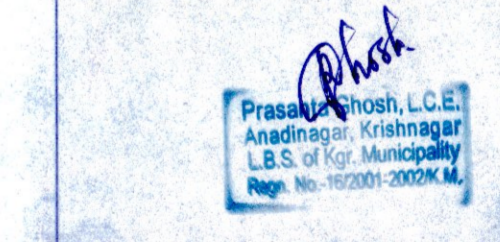
TOTAL REVISED EXTENSION COVERED AREA = 38193.33 SQ.FT.

NAME OF THE DEVELOPER :-  
VALUE HOMES HOUSING  
PAN NO - ABVFM1835B, TAN NO - CALV07734G, M.M. GHOSH LANE, PATRABAZAR, KRISHNANAGAR, KOTWALI, NADIA-741101. W.B.

**OWNER'S NAME AND SIGNATURE :-**

- |   |  |
|---|--|
| 1. SRI PROKASH DAS<br>S/O-SRI PRABIR DAS.<br><i>Prokash Das</i>           | 6. SUBHASH HALDER S/O- LATE BISHWANATH HALDER.<br><i>S. Halder</i>     |
| 2. SRI GOPAL TAMBULI S/O- LATE KALIPADA TAMBULI.<br><i>Gopal Tambuli</i>  | 7. SRI ARUN KUMAR DEY S/O- LATE BISWANATH DEY.<br><i>Arun K. Dey</i>   |
| 3. SRI BIKRAM KUNDU S/O- SRI TAPAS KUNDU.<br><i>Bikram Kundu</i>          | 8. SRI BISWAJIT BAGCHI S/O-SRI SAMAR BAGCHI.<br><i>Biswajit Bagchi</i> |
| 4. SRI SUKDEB HALDER S/O- LATE BIPLAB HALDER.<br><i>Sukdeb Halder</i>     | 9. SRI TILAK GHOSH S/O- SRI BHADRESWAR GHOSH.<br><i>Tilak Ghosh</i>    |
| 5. SRI SRIBAS DALAL S/O-LATE MANGAL CHANDRA DALAL.<br><i>Sribas Dalal</i> | 10. SRI SANDIP BAGUI S/O- LATE KARTICK BAGUI.<br><i>Sandip Bagui</i>   |

I CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN TIME THAT THE SITE CONDITION CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED TANK.  
L.B.S SIGNATURE -



THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BLDG. CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT. THE SOIL TEST REPORT, LOAD TEST RESULTS AND OTHER CONDITIONS ARE AS PER RULES INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL CONFORMING TO STIPULATIONS OF ALL LATEST RELEVANT IS CODES OF PRACTICE AND NATIONAL BUILDING CODE.  
STRUCTURAL & GEO TECHNICAL ENGINEER'S SIGNATURE -

*Avik Biswas*  
MR. AVIK BISWAS  
L.B.S- CLASS-1  
REG. NO-03/2018-2019 KM.  
STE. - CLASS-1  
REGNO-01/2023-2024 KM.  
GTE- CLASS-1  
REGNO-01/2023-2024 KM.  
HASTITALA, KRISHNANAGAR, NADIA

5TH, 6TH FLOOR & ROOF PLAN  
SHEET SIZE-A1

CONSULTANTS:-  
**PRASAD GHOSH & PARTNERS**  
STRUCTURAL & GEO TECHNICAL ENGINEERS  
REG. NO. 03/2018-2019 KM.  
STE. CLASS-1  
REGNO-01/2023-2024 KM.  
GTE CLASS-1  
REGNO-01/2023-2024 KM.  
HASTITALA, KRISHNANAGAR, NADIA

2022/18/2022  
1-22/21/21  
1-22/21/21  
1-22/21/21  
1-22/21/21  
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1-22/21/21  
1-22/21/21  
1-22/21/21

Krishnagar Municipality  
Chairman

*22/8/23*

**SANCTIONED**  
Prior intimation to be given regarding  
date of commencement - Date of  
Completion to be intimated within one  
month from the date of Completion  
VALID FOR THREE YEARS

Krishnagar Municipality  
Assistant Engineer

*22/8/23*

The plan submitted in  
conformity with the building  
rules of the municipality  
recommender for approval